



CVUSD | *Facilities Master Plan*

CVUSD – THOUSAND OAKS CLUSTER SURVEY

Madrona Elementary School | *Survey*

612 Camino Manzanas | Thousand Oaks, CA 91360

Conejo Valley Unified School District

December 9th, 2016 – DRAFT v1

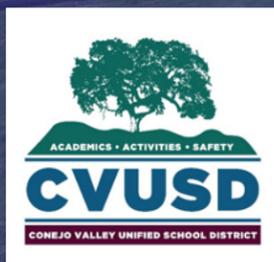
Dougherty + Dougherty
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Existing Site Summary

Neighborhood:

Madrona Elementary School is located in the City of Thousand Oaks on a 11.39 Acre site bounded by Camino Manzanas (North and East) and Lynn Road (East). These two roads also create the major intersection. The school is about half mile north of Freeway 101. The entrance to the school site is located at the end of Marian Ave.

Instruction:

The school serves K to 5th grade. Typical class size for TK to 3rd grade is around 21 students while the 4th and 5th grade class size is averaged 30 students per class. The school offers a unique integrated program where three special education classes are paired with three general education classes. Each class will spend a portion of time each day together. The school caters to both sensory and down syndrome.

The school has a thriving music program that is taught in all grade levels. 4th and 5th graders also have opportunities to join school band. The new PE program SPARK aims to develop both motor skills and social skills. 4th and 5th graders also enjoy the dance program. Various after school enrichment programs are offered throughout the year. The school has approximately 120 English language learners and Spanish Enrichment class is also offered for 3rd graders.

Summary of Facilities:

The main core buildings 1 to 4 were built in 1964. The additions of building 5 and 6 were completed in 1997 and 2000 while portable building 8 for kindergarten was constructed in 1999. First campus wide modernization was completed in 2003/2004. The original circular drop off area provided a strong sense of arrival while the original multi-purpose building is located adjacent to the long down-slope driveway to the drop-off area, creating an enclosed roundabout. The campus has several special learning spaces such as a science lab (STAR lab), two computer labs, a music room and an art room. The main entry gate and the immediate fencing have been replaced with galvanized steel gate and picket fence in 2015. The circular drop-off area provides very limited loading and parking capacity; thus, the school relies heavily on the adjacent church parking lot to provide short term parking for parents and visitors.

Building Systems:

HVAC, electrical and plumbing system have been upgraded within the past 20 years. However, majority of them will require major service or replacement within 5 years. The elevator for the school is noted to require frequent maintenance although it is rarely used.

Technology:

Most lower and upper classrooms have projector/screen or promethean boards. The campus has a working WIFI network that provides connection to portable devices and laptop computers. The two computer rooms provide adequate access to technology for each student.

Energy:

The energy data shows an overall trend of decreasing usage of electricity gas and water. The recent installation of energy efficient light fixture, water efficient plumbing fixture and declining enrollment may attribute to the general downward trend.

Site Attributes:

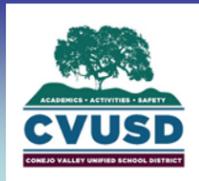
- Beautiful views in the distance accentuated by the elevated vantage points throughout the site.
- Existing durable exterior building materials such as concrete masonry wall and tile roofing appear to stand the test of time well.
- Overall a well kept facility with numerous recent upgrades on site.
- Functional MPR building.
- Large storage spaces under building 5
- Ample learning spaces for current and future enrollment

Site Deficiencies:

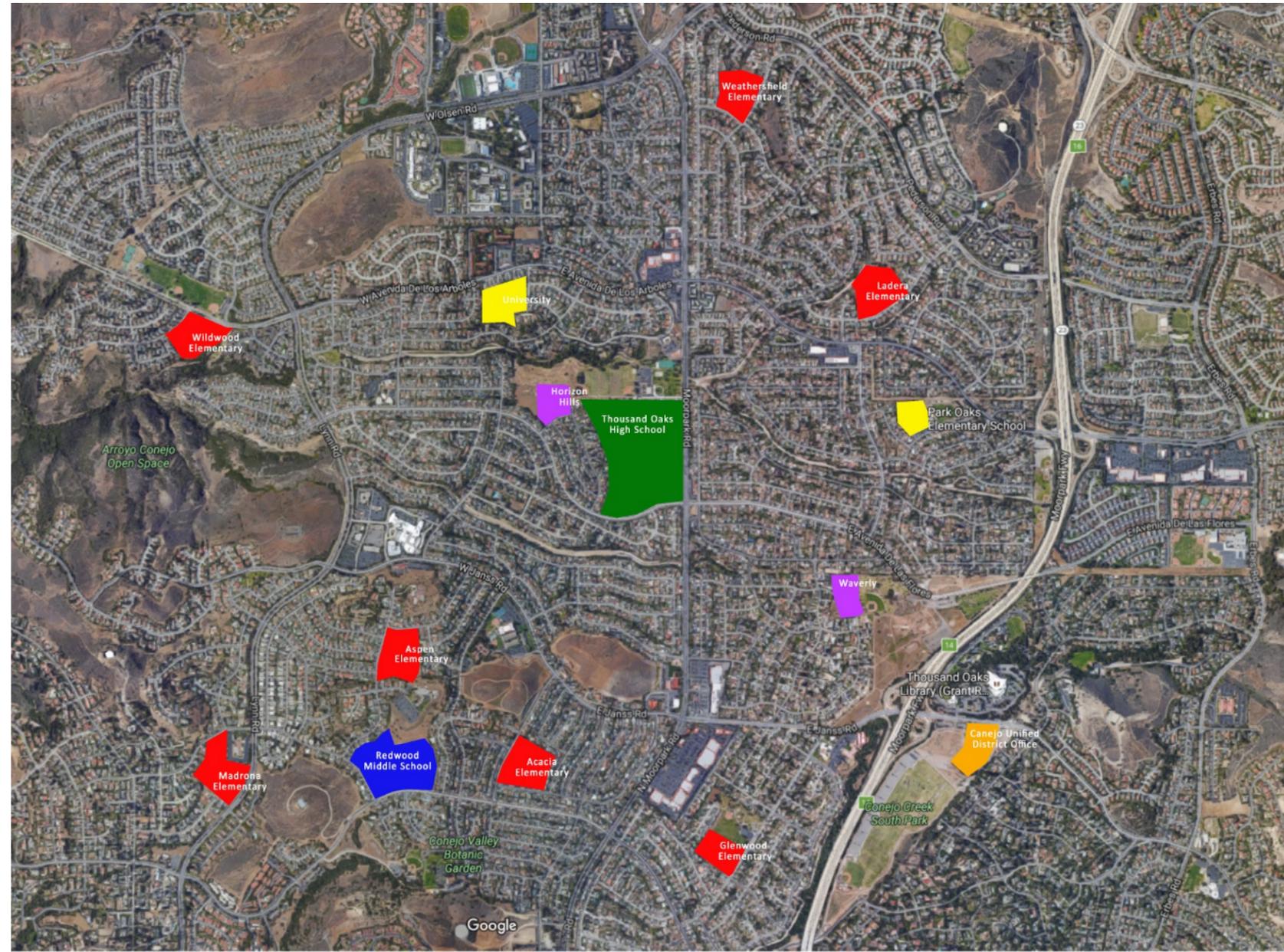
- Congested drop-off area with limited passenger loading spaces.
- Very limited parking area for both staff and visitors.
- Various steep walkways throughout the site that present challenges to wheel chair accessibility.
- Wood handrails on second floor balconies show signs of water damages and weakening support.
- Many gates lack lever hardware that meet accessibility requirement.
- Remote location of MPR building exposing students to traffic crossing for assembly and other large group activities
- Underutilized outdoor stage area behind MPR building.
- Insufficient outdoor lighting near entrance and parking area
- Visitors currently must walk through nurse office to enter campus.
- Deteriorating chainlink fencing between lunch and parking area creating security and safety issues.
- No wheel chair lift for MPR stage
- Lack of shading at playground area especially at the kindergarten area.
- Some classroom rooms lack window shading.
- Portable building, is old and should be removed based on current enrollment
- Large storage space under building 5 needs to be investigated for fire life safety code compliance

Table of Contents

0.0	Cover Sheet
1.0	Table of Contents / Executive Summary
2.0	Cluster Context Map
INSTRUCTIONAL INFORMATION	
3.0	Project Location Plan & Data
4.0	Instructional & Campus Summary
5.1	Existing Campus Plan
5.2	Existing Campus Building Data
6.0	Existing Campus Building Use - First Floor
6.1	Existing Campus Building Use – Second Floor
7.0a	Existing Campus Image Key Map (Images 1-25)
7.0b	Existing Campus Images Key Map (Images 26-48)
7.1	Existing Campus Images
7.2	Existing Campus Images
7.3	Existing Campus Images
7.4	Existing Campus Images
7.5	Existing Campus Images
7.6	Existing Campus Images
8.0	Specialized Program
FACILITY INFORMATION	
9.0	Facility Certification Requirements
	Site Challenges & Proposed Site Modernization Summary
10.0	
10.1	Drop-off Points and Circulation
10.2	Facility Accessibility
11.0	Energy Use
12.0	Core Facilities Data
TECHNOLOGY	
13.0	Campus Technology
PROJECT REQUESTS	
14.0	Observations Summary



CVUSD Thousand Oaks Cluster



Legend

- Elementary School
- Middle School
- High School
- Other (Adult Education, Early Education)
- Charter, Non K-12
- District Office

CVUSD Thousand Oaks Cluster Sites

LOCATION CODE	SITE NAME	SCHOOL MANAGEMENT SERVICES SITE TYPE	GRADE LEVEL CONFIG
1 010	ACACIA ELEMENTARY	Elem. School	TK- 5
3 020	ASPEN ELEMENTARY	Elem. School	TK- 5
13 080	GLENWOOD ELEMENTARY	Elem. School	TK- 5
14 090	HORIZON HILLS	Pre K, Adult ED	MISC.
15 100	LADERA ELEMENTARY	Span Magnet	K- 5
18 120	MADRONA ELEMENTARY	Elem. School	TK- 5
23 170	PARK OAKS (BRIDGES)	Elem. School (Charter)	K- 5
24 180	REDWOOD MIDDLE SCHOOL	Middle School	6-8
27 200	THOUSAND OAKS HIGH SCHOOL	High School	9-12
29 220	UNIVERSITY	Elem. School	TK-5
31 240	WAVERLY	Adult ED / Special ED	MISC.
32 250	WEATHERSFIELD ELEMENTARY	Elem. School	TK-5
36 290	WILDWOOD ELEMENTARY	Elem. School	K-5
12 000	DISTRICT OFFICE	NA	NA
14	Totals Sites		

Community Resources

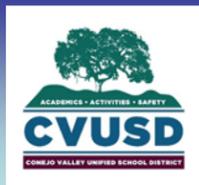
DESCRIPTION	LOCATION	CITY
Thousand Oaks Community Ctr.	2525 N Moorpark Road	Thousand Oaks
Thousand Oaks Community Park	2525 N Moorpark Road	Thousand Oaks
Conejo Valley Shopping Center	Moorpark Road	Thousand Oaks
Conejo Valley Art Museum	197 N Moorpark Road	Thousand Oaks
Conejo Community Center	1175 Hendrix Avenue	Thousand Oaks
Spring Meadows Park	3283 Spring Meadow Avenue	Thousand Oaks
Conejo Creek Equestrian Park	1350 E Avenida De Las Flores	Thousand Oaks
Glenwood Park	Windsor Drive	Thousand Oaks
Thousand Oaks Library	1401 E Janss Road	Thousand Oaks
Los Robles Hospital	215 W Janss Road	Thousand Oaks

Madrona Elementary School | Survey
 612 Camino Manzanitas | Thousand Oaks, CA 91360
 Conejo Valley Unified School District
 December 9th, 2016

Cluster Context Map

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2.0





Project Location Map

Madrona Elementary School | *Survey*
612 Camino Manzanitas | Thousand Oaks, CA 91360
Conejo Valley Unified School District
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3.0

FACILITIES - CLASSROOM INVENTORY																					
K-12 Student Facility	Grade Type	KINDERGARTEN CLASSROOMS					ELEMENTARY				MIDDLE				HIGH SCHOOL						
		Permanent	Portable	Small	Specialty	Capacity	Permanent	Portable	Small	Specialty	Permanent	Portable	Small	Specialty	Permanent	Portable	Small	Specialty			
As used for the 15/16 School Year											Enrollment 15/17										
K - All Day	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1-3 Incls: Title 1	15	10	20	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
4-5 Incls: Plus	45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
6-8	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9-12	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
TOTAL	60	20	20	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		

ENROLLMENT HISTORY - 2nd Month Report																			
Grade	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025
TK	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
K	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
6	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Elem	0	323	310	349	395	395	408	421	402	413	381	413	440	487	496	495	516	529	525
Special Ed	15	14	13	23	32	34	37	31	33	28	34	31	36	26	24	21	30	12	0
TOTAL	0	338	324	362	418	427	442	458	433	446	409	447	471	523	522	519	537	559	537

Forecast										
Grade	Forecast		2016	Primary & Upper	Teacher Calculation			15-16 Budget	14-15 Staffing	
	Students	Teachers			Totals	Teacher by Ratio	Students per class			
Special Ed			9							
TK			22	22	1.00	1	22	1	1	
K	66	3.07	39	185	1.81	8.60	22	9		
1	58	2.70	54		2.51		22			
2	44	2.05	47		2.19		22		11	
3	49	2.28	45		2.09		22			
4	45	1.50	47	111	1.57	3.70	30	4	4	
5	68	2.27	64		2.13		30			
TK - 5	330	10.09	318	318						
		3.77								
TOTAL	330	13.86	318	318	12.30			13	16	

Enrolment Data:

•For Secondary Schools

Classrooms 800 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).

If the rooms are being used for instruction and they are 799 Square Feet and under, they will be considered a "Small Room", with a different Color Code. Provide a description in the keynote as to its current use.

•For Elementary Schools

Classrooms 720 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).

If the rooms are being used for instruction and they are 719 Square Feet and under, they will be considered a "Small Room", with a Different Color Code. Provide a description in the keynote as to its current use.

For Span and other types of Schools

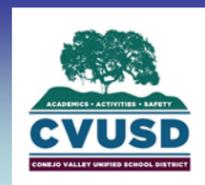
Identify what age group the space is used for the majority of the day – use rules above for Secondary Schools and Elementary Schools. Provide a description in the keynote as to its current use.

CVUSD HIGH SCHOOL										
Location Code: 0000				Campus Summary						
Site Information		Totals		Total Planned Site Capacity:			Totals			
Current Useable Area:		11.39 Acres		Current Enrollment:			338			
Current Playground Area:		7.0 Acres		Planning 2-Semester Capacity:			430			
				Enrollment to use for Planning			320			
Playground Area Required:		9.0 Acres								
		Current Classrooms			Potential Classrooms + Current Classrooms			Classrooms Identified by the School		
Classroom Status for School:		Permanent	Portable	Totals	Permanent	Portable	Totals	Permanent	Portable	Totals
Available Classrooms 800 Square Feet or greater:		33	1	34	33	0	33	33	1	34
Available Small Rooms 799 Square Feet or smaller:		4	0	4	4	0	4	4	0	4
Totals:		37	1	38	37	0	37	37	1	38

CVUSD SPECIAL EDUCATION SCHOOL									
Location Code: 3000				Campus Summary					
Site Information		Totals		Total Planned Site Capacity:			Totals		
Current Useable Area:		Shared		Current Enrollment:			15		
Current Playground Area:		Shared		Estimated 2-Semester Capacity:			15		
				2013-14 Adjusted Projected Resident & Magnet Enrollment:			15		

Analysis:

Currently the school has an enrollment capacity over 30 percent greater than their current and projected enrollment. The school only has 1 portable building which may be removed if the remaining permanent spaces can accommodate the current usage in the portable.

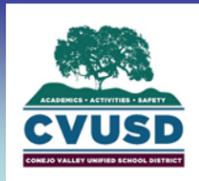
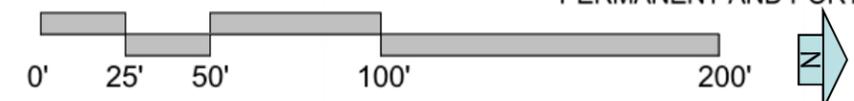




LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL
PERMANENT AND PORTABLE



Madrona Elementary School | *Survey*
 612 Camino Manzanos | Thousand Oaks, CA 91360
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School District Site Name	School District Building Name	Building Rating Classification	Square Footage	Fire Const. Code	Fire Const. Type	Sprinkler Y/N	Fire Y/N	Alarm Local/Central	Roof Type	Year Built	Year Renovated				Status	Vacant Is Vacant Y/N	Flood Risk	Zone Code	Map Date
											Roof	HVAC	Elec	Plumb					
Madrona Elementary	1 - Administration	Elementary	2,280	2	Joisted Masonry	No	Yes	L	Tile	1964	1984	2005	1999	2005	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	2 - Multi-Purpose	Elementary	6,041	2	Joisted Masonry	No	Yes	L	Tile	1964	1984	1995	1999	2004	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	3 - Classroom 3-10	Elementary	8,640	2	Joisted Masonry	No	Yes	L	Tile	1964	1984	1997	1999	2004	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	4 - Classroom 11-18	Elementary	8,640	2	Joisted Masonry	No	Yes	L	Tile	1964	1984	1997	1999	2004	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	5 - Classrooms 19-30	Elementary	11,520	5	Modified Fire Resistive	No	Yes	L	Metal	2000	2000	2000	2000	2000	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	6 - Classroom/Library 31-39	Elementary	8,284	5	Modified Fire Resistive	No	Yes	L	Composition	1997	1997	1997	1997	2004	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	7 - Kindergarten 1-2	Elementary	2,944	2	Joisted Masonry	No	Yes	L	Tile	1964	1964	2005	1999	2004	Owned and occupied by the district	N	NS	X	1/20/2010
Madrona Elementary	8 - Kindergarten 2A	Elementary	1,440	5	Modified Fire Resistive	No	Yes	L	Metal	1999	1999	1999	1999	1999	Owned and occupied by the district	N	NS	X	1/20/2010



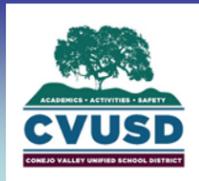
Existing Facilities:

5 buildings are over 40 years old

Analysis Summary:

Madrona has 5 buildings that are over 40 years old, however these buildings are concrete brick masonry construction and overall have aged well. The older 2 story buildings have wood railing that are deteriorating and in need of replacement. Overall the HVAC systems are in need of replacement. The roofing system is tile and although very old is still working well.

Building 8 is a portable building that is approaching 20 years of age. Due to current enrollment and projected enrollment the building is not needed and may be removed.





LEGEND

- PRIMARY POINT OF ENTRIES
- ADMINISTRATION
- CLASSROOM
- FOOD SERVICE
- KINDERGARTEN
- LIBRARY
- MULTI PURPOSE
- SUPPORT SPACES

SITE IMPROVEMENT KEY NOTES

- 1 CONGESTED DROP-OFF AND PICK UP AREA WITH LIMITED PASSENGER LOADING SPACES
- 2 VERY LIMITED PARKING AREA FOR BOTH STAFF AND VISITORS
- 3 STEEP SIDEWALK PRESENTING CHALLENGE TO ACCESSIBILITY
- 4 GATE LACKING LEVER HARDWARE AND LEVELED LANDING
- 5 REMOTE LOCATION OF MPR AND LUNCH SHELTER EXPOSING STUDENT TO TRAFFIC CROSSING FOR ASSEMBLY AND OTHER GROUP ACTIVITIES
- 6 UNDERUTILIZED OUTDOOR STAGE AREA BEHIND MPR BUILDING
- 7 VISITORS MUST WALK THROUGH NURSE OFFICE TO ENTER THE CAMPUS

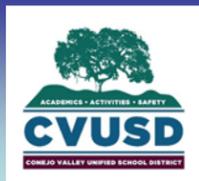
SITE IMPROVEMENT GENERAL NOTES

- 8 DETERIORATING CHAINLINK FENCING BETWEEN LUNCH SHELTER AND PARKING AREA
- 9 NO WHEEL CHAIR LIFT FOR MPR PLATFORM
- 10 INSUFFICIENT SHADING AT PLAYGROUND AREA ESPECIALLY OUTSIDE THE KINDERGARTEN
- 11 WOOD HANDRAIL ON SECOND FLOOR BALCONIES SHOW SIGNS OF WATER DAMAGES AND WEAKENING SUPPORT

SITE IMPROVEMENT GENERAL NOTES

- INSUFFICIENT OUTDOOR LIGHTING NEAR ENTRANCE AND PARKING LOT AREA
- SOME CLASSROOMS LACK WINDOW SHADING TREATMENT

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL
BUILDING USE-FIRST FLOOR





LEGEND

- PRIMARY POINT OF ENTRIES
- ADMINISTRATION
- CLASSROOM
- FOOD SERVICE
- KINDERGARTEN
- LEARNING CENTER
- LIBRARY
- MULTI PURPOSE
- SUPPORT SPACES

SITE IMPROVEMENT KEY NOTES

- 1 CONGESTED DROP-OFF AND PICK UP AREA WITH LIMITED PASSENGER LOADING SPACES
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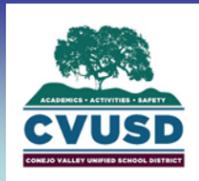
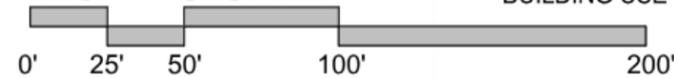
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SITE IMPROVEMENT GENERAL NOTES

- INSUFFICIENT OUTDOOR LIGHTING NEAR ENTRANCE AND PARKING LOT AREA
- SOME CLASSROOMS LACK WINDOW SHADING TREATMENT

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL BUILDING USE-SECOND FLOOR





LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

- 1- ADMINISTRATION
- 2- MULTI PURPOSE
- 3- CLASSROOMS
- 4- CLASSROOMS
- 5- CLASSROOMS
- 6- LIBRARY / CLASSROOMS
- 7- KINDERGARTEN
- 8- KINDERGARTEN (MODULAR)
- 9- LUNCH SHELTER

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL
PERMANENT AND PORTABLE

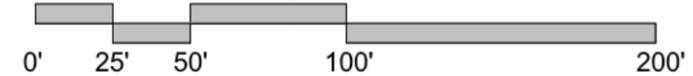


IMAGE REFERENCE



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Existing Campus Image Key Map (Images 1-24)

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LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

- 1- ADMINISTRATION
- 2- MULTI PURPOSE
- 3- CLASSROOMS
- 4- CLASSROOMS
- 5- CLASSROOMS
- 6- LIBRARY / CLASSROOMS
- 7- KINDERGARTEN
- 8- KINDERGARTEN (MODULAR)
- 9- LUNCH SHELTER

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL
PERMANENT AND PORTABLE

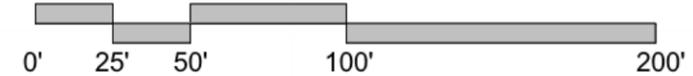


IMAGE REFERENCE



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Existing Campus Image Key Map (Images 26-48)

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7.0b



Photo -1
Parking Lot and Drop Off
Current parking lot configuration is very congested



Photo -2
School Parking Entry
Current school entry down to parking lot



Photo -3
Bicycle Parking
Current bicycle parking at top of campus



Photo -4
Stair Railing Spalling
Base railing for church parking stair case is spalling



Photo -5
Building 2
Back side of multi purpose stage has rolling doors



Photo -6
Building 2
Crosswalk from main campus to Multi Purpose building requires kids to cross parking lot



Photo -7
Additional Staff Parking Lot
Additional staff parking next to multi purpose building.



Photo -8
Accessible Parking Stall
Accessible parking stall



Photo -9
Building 3
Backside ramp to upper portion of building 3 from exterior of campus. Ramp is not current with accessibility standards

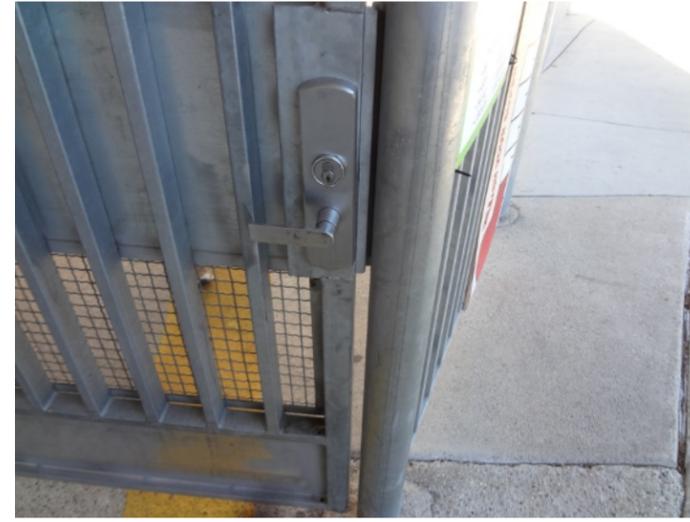


Photo -10
Building 1
Primary gate entry point to school next to administration building



Photo -11
Building 2
Entrance to multi purpose building



Photo -12
Building 2
Multi Purpose building with permanent stage.



Photo -13
Building 2
Additional storage and multi purpose space in the multi purpose building



Photo -14
Building 2
Food service warming kitchen



Photo -15
Building 1
Administration office interior



Photo -16
Building 1
Backside of administration building, desired location for new entry door to pass through administration building.



Photo -17
Building 6
 Library has wonderful day light from the clerestory windows and tall ceilings.



Photo -18
Building 6
 Typical permanent classroom, relatively new carpet.



Photo -19
Building 7
 Typical permanent kindergarten classroom, relatively new carpet.



Photo -20
Play Equipment
 Exterior play equipment with sand fall protection.



Photo -21
Building 8
 Portable kindergarten classroom, no longer needed based on current enrollment levels



Photo -22
Building 6
 Typical permanent classroom, relatively new carpet.



Photo -23
Building 3
 Typical thresholds around campus have not been updated to current accessibility standards.



Photo -24
Building 6
 New hydration station, not built in compliance with accessibility guidelines.

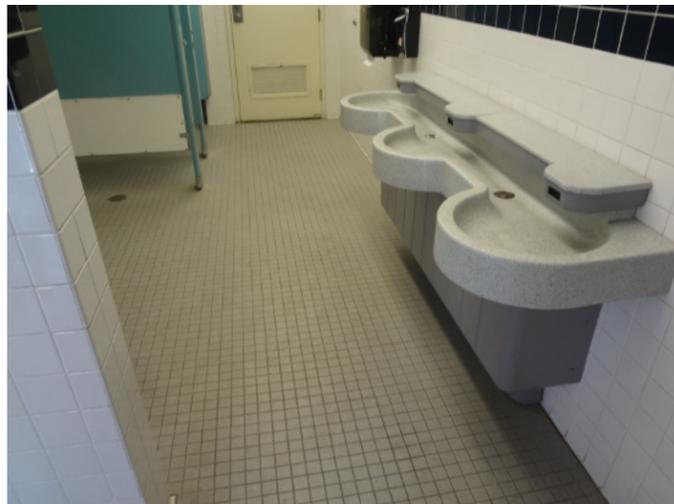


Photo -25
Building 6
Typical restroom.



Photo -26
Building 6
Stairs and ramps are all over campus because of sloped topography.



Photo -27
Building 7
Exterior kindergarten classroom space. Desire for shade structure for kids



Photo -28
Building 6
Typical drinking fountain in original condition, not current with accessibility standards.



Photo -29
Play Ground
Large open play ground area with sufficient black top and turf space.



Photo -30
Play Equipment
Current play equipment is sufficient to the needs of the campus.



Photo -31
Sand Box
Current fall protection is sand, however there are accessibility issues all around the sand box.



Photo -32
Building 7
Typical classroom sink, not current with accessibility standards.



Photo -33
Building 3
Railing on second floor of older 2 story building are made of wood and are deteriorating and need replacement.



Photo -34
Building 3
Typical permanent classroom in older 2 story building



Photo -35
Building 3
Concrete spalling issues in the deck of the second floor, should be repaired.



Photo -36
Building 4
Elevator from lower level to upper level for 2 story buildings.



Photo -37
Building 3-4
Exterior ramp between building 3 and 4 is not current with accessibility standards



Photo -38
Building 4
Typical permanent classroom in older 2 story building, classroom has promethean board



Photo -39
Building 4
Typical permanent classroom in older 2 story building, classroom is being used as learning center



Photo -40
Building 5
Typical permanent classroom, downstairs newer 2 story building. Currently used as storage.



Photo -41
Building 5
Concrete is spalling at the railing connections for some of the railings in building 5



Photo -42
Building 5
Storage beneath building 5



Photo -43
Building 5
Exterior stair case and walkway toward base of campus. Currently used as secondary entrance to campus for drop off/pick up



Photo -44
Building 4
Ground floor location of elevator.



Photo -45
Building 4-5
Elevated bridge between building 4 and 5.



Photo -46
Building 5
Typical classroom sink in building 5 is current with accessibility standards.



Photo -47
Building 5
Typical second floor classroom in building 5.



Photo -48
Building 4
Ground floor classroom in building 4 is used as a day care facility.



Music



Dance

Madrona's 4th and 5th graders will be participating in Dancing With Our Local Schools during the 2016 - 2017 school year. Students will be exposed to a variety of different dances and will have the opportunity to perform in a winter and spring showcase.

Website: www.dwols.org

Twitter: @DWOLSchools

Instagram: DWOLS2010

Facebook: Dancing With Our Local Schools

Computer Lab



Madrona Elementary School Specialized Programs

Madrona has several special programs designed to enrich the students educational experience. Some of the most notable and unique programs are their music, dance, and computer lab. Each program is designed to develop a different portion of the child's brain and can lead to a far more comprehensive educational experience.

In addition, dance is especially enjoyable for the children as a form of cultural enrichment as they learn different forms of dances and develop interpersonal skills with other kids.





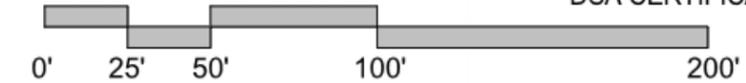
LEGEND

- CERTIFIED
- NOT CERTIFIED
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

- 1- ADMINISTRATION
- 2- MULTI PURPOSE
- 3- CLASSROOMS
- 4- CLASSROOMS
- 5- CLASSROOMS
- 6- LIBRARY / CLASSROOMS
- 7- KINDERGARTEN
- 8- KINDERGARTEN (MODULAR)
- 9- LUNCH SHELTER

EXISTING SITE PLAN | MADRONA ELEMENTARY SCHOOL
DSA CERTIFICATION REQUIREMENTS





Site Challenges:

In its current condition, Madrona Elementary School faces many challenges. The most notable problem is the limited drop-off and parking area surrounded by a circular driveway. The school relies on staff to direct traffic each morning to alleviate the congestion. Without the additional parking from the adjacent church, the school parking lot does not provide adequate parking for visitors and parents. In addition, the original MPR building is also situated at an isolated location that obstructs the views to the main school entrance from outside and creates an unsafe condition for students to leave the gated campus to cross a vehicular drive way in order to enter the building and lunch shelter everyday. The end of Marian Ave., which leads the vehicular and pedestrian traffic down a sloped drive way creates difficult grading condition to comply with ADA. Numerous sloped concrete walkways also present challenges for wheelchair access throughout the site.

Inside the buildings, the school faces additional challenges. The foremost issue, as pointed out by the school staff and visitors, is the lack of a dedicated circulation path for visitors to enter the school once the main entry gate is closed during school hours. The visitors has to go through the nurse’s office to enter the school site currently. The wooden guardrail on the second floor do not match the newer steel guardrail and show signs of weakening support. Various ADA related issues also occur throughout the site. Those issues include non-conforming door hardware, threshold, drinking fountains and the lack of wheel chair lift for the stage in the MPR. The staff in the administration building also indicated inadequate cooling in summer time.

Site Modernization Opportunities:

Modernization projects for Madrona Elementary School will have two main focuses: site and building. Site projects will require a creative and holistic approach to improve the awkward parking area. Proposed works shall re-configure the parking lot to provide a safe and efficient circulation path for both vehicles and pedestrians. As an addition to the overall site improvement, stand-alone light poles and aesthetically pleasing steel fencing should be considered to increase both physical and perceived safety on site. The back stage outdoor area east of the multi-purpose building also presents an opportunity to create an outdoor amphitheater space for both students and community usages. The stage may complement the shriving art and music programs .

Interior modernization projects should address the quality of educational spaces, administration spaces and the infrastructure. The library currently has a tall and well lit space; however, there is an opportunity to create a dedicated maker space either within the library space or in one of the adjacent rooms. The kindergarten playground should have added permanent shading to protect the kindergarteners from heat related illnesses in summer. Most classrooms should have adequate window covering such as roller shade to control glare and heat from sunlight. Finally, the administration building may require re-configuration near the nurse office and the surrounding spaces to create a dedicated path for the visitors.

Infrastructure projects may be carried out by maintenance and operation; however, depending on the scale and cost of the works, they may be considered as a part of the long terms master plan. Administration HVAC units should be assessed for its efficiency and capacity. Replacement of the units may be the solution. Aging elevator and deteriorating guardrail on the second floor should be repaired and potentially replaced. Any future modernization projects shall include campus wide ADA assessment work to determine the full extent of accessibility upgrades. Non-DSA certified projects, on the other hands, also must be closed and certified prior to the start of any significant projects.



BUILDING

- 1- ADMINISTRATION
- 2- MULTI PURPOSE
- 3- CLASSROOMS
- 4- CLASSROOMS
- 5- CLASSROOMS
- 6- LIBRARY / CLASSROOMS
- 7- KINDERGARTEN
- 8- KINDERGARTEN (MODULAR)
- 9- LUNCH SHELTER





Image 1: The main drop off area is very limited and the curvature makes maneuvering vehicles difficult in the loading zone.



Image 2: The main entrance gate is open during morning drop-off and afternoon pick-up hours. A smaller pedestrian swing gate is situated next to the entrance gate for all day visitor access



- Access during start and finish only
- Access during school hours

- BUILDING**
1. ADMINISTRATION BUILDING
 2. MULTI-PURPOSE BUILDING
 3. CLASSROOM BUILDING
 4. CLASSROOM BUILDING/DAY CARE
 5. CLASSROOM BUILDING/DAY CARE
 6. CLASSROOM BUILDING
 7. KINDERGARTEN
 8. PRE-K
 9. LUNCH SHELTER

Circulation Diagram

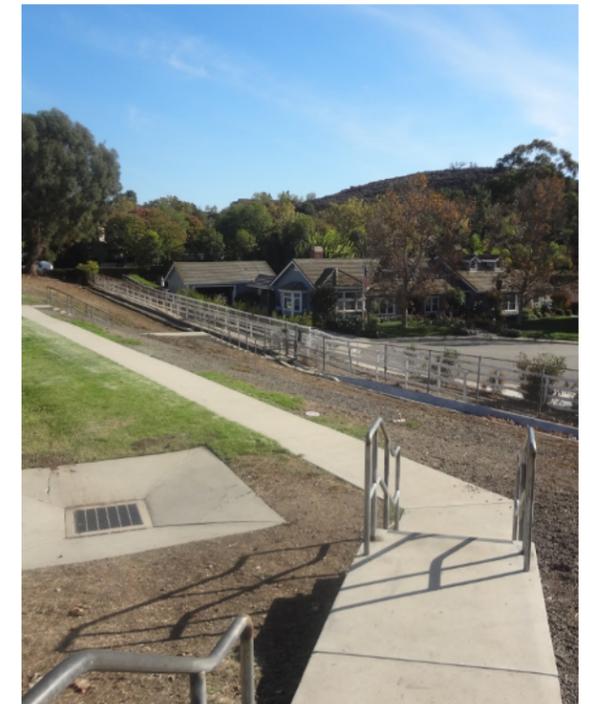


Image 3: Secondary drop-off is not wheel chair accessible due to steps



Photo -1
The platform in MPR does not have wheelchair lift or ramp to provide wheelchair access.



Photo -2
The long concrete ramps between building 4 and 3 have slope that exceeds maximum slope allowed for wheel chair at certain sections

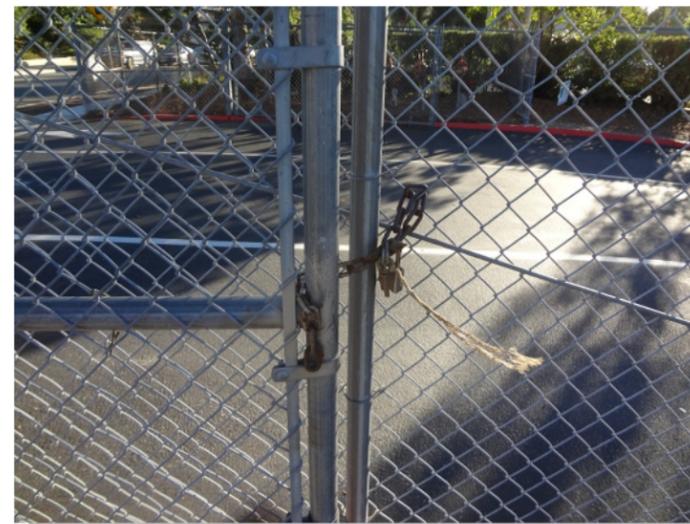


Photo -3
Chain link gate has padlock that do not meet accessibility requirement.



Photo -4
Most trough style drinking fountain on sites do not comply with accessibility standard



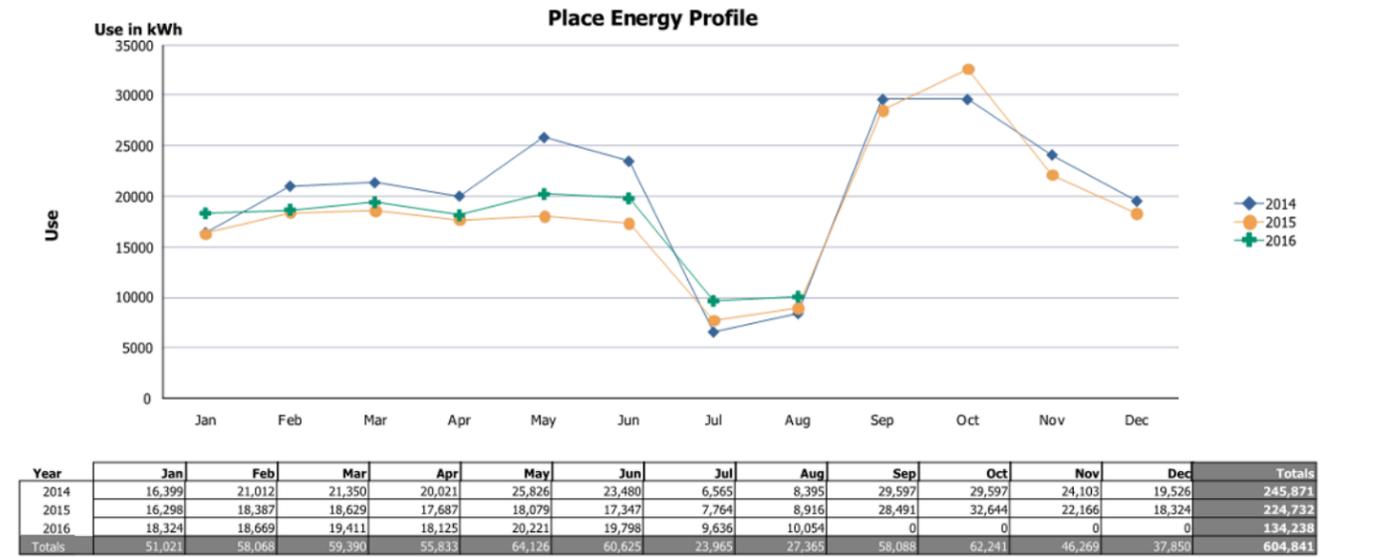
Photo -5
Existing door thresholds, with exceptions of those in Building 5, do not comply with accessibility requirement .

 **IMAGE REFERENCE**

Energy Use Summary:

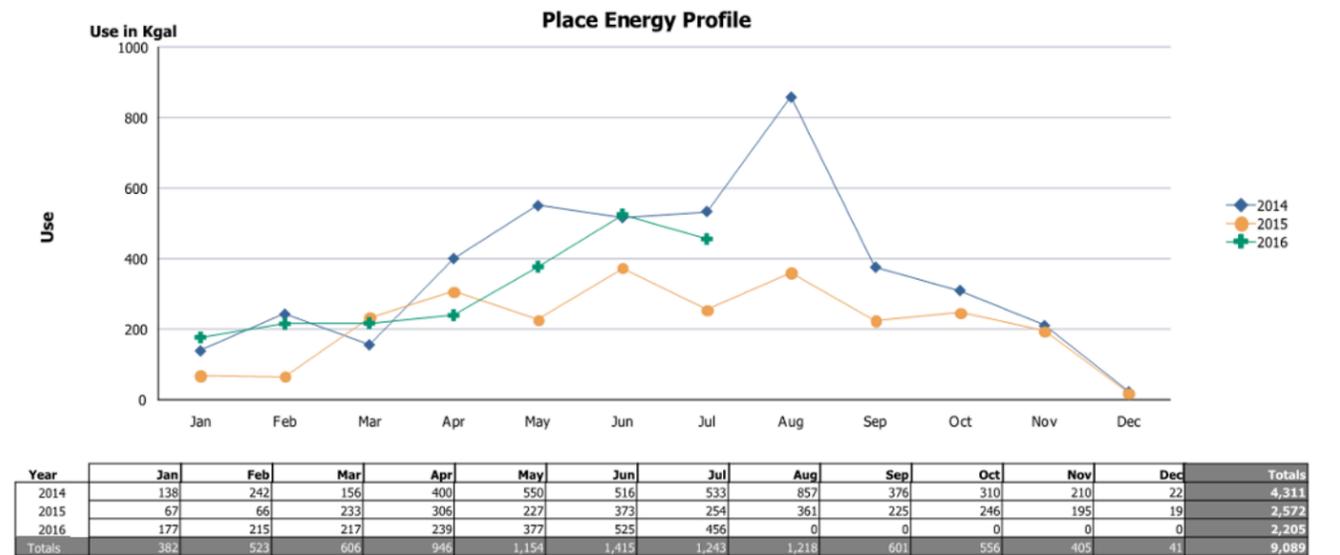
Currently the largest energy demand is the electrical use to power the HVAC system. The campus has received a LED lighting upgrade along with occupancy sensors to improve the efficiency of the lighting system. However, improvements can still be made when the HVAC system is replaced to improve the efficiency of the overall system. In addition, there is solar power generation opportunities on the site due to the dry climate and ample sun and roof exposure.

Place: [MADRONA_1] Madrona



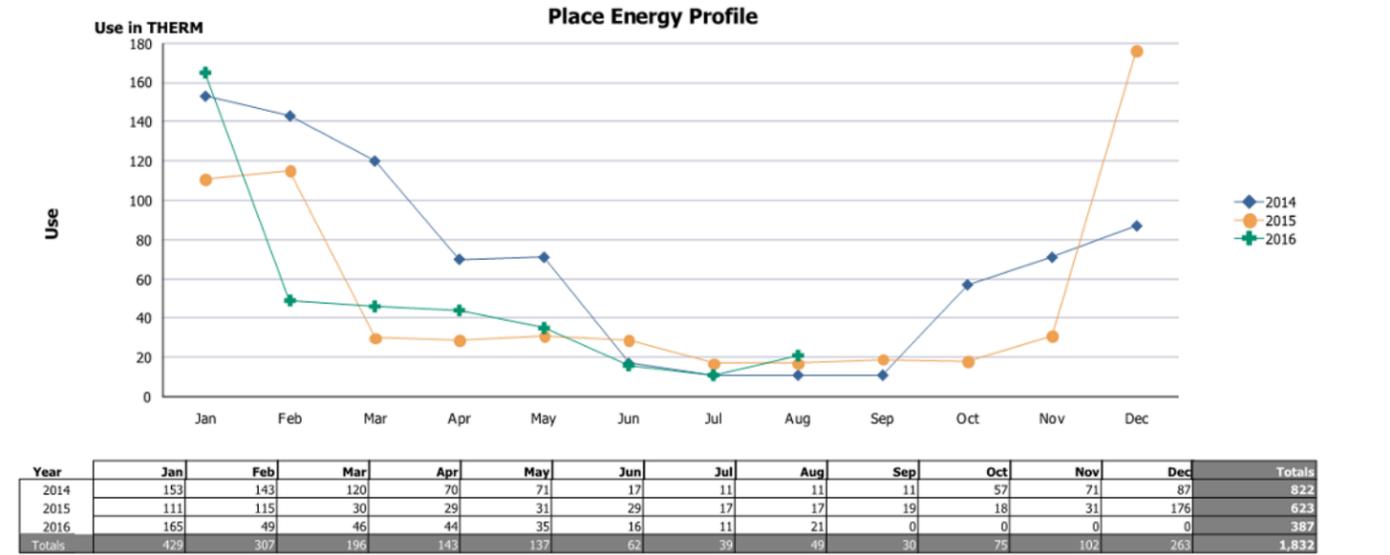
[MADRONA_1] Madrona						
Electric	10,054	KWH	\$7,682	\$2,681	\$5,002	65.1%
Natural Gas	21	THERM	\$169	\$64	\$105	62.2%
Totals:	36	MMBTU	\$7,852	\$2,745	\$5,107	65.0%

Place: [MADRONA_1] Madrona



Water:

Place: [MADRONA_1] Madrona



Gas:



Core Facilities			
Item	Category	Existing Square Footage	Standard Square Footage Based on Planning 2- Semester Capacity
1	Administration	2,280 Square Feet * (Office Square Footage)	00 Square Feet * (Office Square Footage)
2	Multi Purpose	6,041 Square Feet	00 Square Feet
3	Classrooms	8,640 Square Feet	00 Square Feet
4	Classrooms	8,640 Square Feet	00 Square Feet
5	Classrooms	11,520 Square Feet	00 Square Feet
6	Library / Classrooms	8,248 Square Feet	00 Square Feet
7	Kindergarten	2,944 Square Feet	00 Square Feet
8	Kindergarten (Modular)	1,440 Square Feet	00 Square Feet
9	Lunch Shelter	1,000 Square Feet	00 Square Feet
8	Playground	7 Acres	00 Acres
9	Parking	48 Stalls	00 Stalls

*(Office Square Footage)

This calculation includes the Front Office/Main Office; Waiting Room/Space; Conference Room; Administrative Offices.

Core Facilities Summary

1. Administration

The administration building is original and in need of modernization. The HVAC was repaired in 2005, however it will need to be upgraded within the next 10 years.

2. Multi Purpose

The multi purpose building is in need of HVAC upgrades as well as some accessibility upgrades. The current issue with children across a parking lot should be addressed.

3. Classrooms

The classrooms are in need of an HVAC system upgrade as well as the interior finishes.

4. Classrooms

The classrooms are in need of an HVAC system upgrade as well as the interior finishes.

5. Classrooms

Classroom building 5 is much newer than the rest of the campus building, but still has aging systems that are approaching 20 years of age and will need to be updated within the next 10 years.

6. Library / Classrooms

The classrooms are in need of an HVAC system upgrade as well as the interior finishes.

7. Kindergarten

The classrooms are in need of an HVAC system upgrade as well as the interior finishes.

7. Kindergarten (Modular)

The modular kindergarten classroom is in need of updates, all of the systems and finishes are original. However, due to the decreased enrollment numbers, the classroom may be relocated back to permanent building.

7. Lunch Shelter

The lunch shelter was constructed during the construction of the multi purpose building, it will need basic maintenance upgrades but is sufficient to the needs of the campus.

8. Playground

There is a large playground, and sufficient to the needs of the campus

9. Parking

The parking is a major area of concern for the school, currently the configuration makes drop off and pick up very difficult and traffic back ups occur every day. The parking should be reworked to improve the accessibility issues at the front of campus, while also improving the layout and issues with kids crossing the parking lot to get to the multi purpose room.



Technology Summary:

Madrona: The network infrastructure has been upgraded to meet current and future needs. Each building that has an IDF is connected to the MDF via 12 strands of single mode fiber. Every classroom has two locations with two CAT6 A cables along the wall and four cables in the ceiling. A 12 port switch is installed in each classroom to accommodate additional computers. All other instructional and office spaces have newly installed CAT6 A cables. Wireless access points have been installed in all indoor instructional and office spaces in a micro-cell arrangement to ensure the ability to support a 1 to 1 student to device rollout. Outdoor wireless coverage is currently being evaluated. Switch gear that support a 10Gbps backbone and 1Gbps Power Over Ethernet connections is installed in every IDF and MDF. The current speed of the backbone is limited to 1Gbps but can be increased with new fiber optic transceivers.



Room Name	Computer	Quantity	Projector Model	Smartboard Model	Printer Model	Document Reader	Other
Kindergarten	Lenovo M900 Optiplex 745	3	Epson Powerlite 585W	ActivBoard 500	Xerox Phaser 3260	Avervision CP 135	
Kindergarten	Lenovo T450 Optiplex 745 Optiplex 760	3	Dukane I-PRO	ActivBoard 500	Dell Color Laser 2150	Avervision CP 135	
Classroom	Lenovo M900 Optiplex 745	3	Epson Powerlite 585W	ActivBoard 500	HP Laserjet 2420	Avervision CP 135	
Classroom	Lenovo M900 Optiplex 740	3	Epson Brightlink 595Wi		Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo M900		none		Xerox Phaser 3260		
Classroom	Lenovo T450 Optiplex 760 Optiplex 740	3	Dukane I-PRO		HP Laserjet 2300	Avervision CP 135	Dell Color C2665dn
Classroom	Lenovo T450 Optiplex 760 Optiplex 745	3	Dukane I-PRO		Brother MFP 8080		
Classroom	Lenovo T450 Optiplex 745 Optiplex 760	2	Dukane I-PRO				
Classroom	Lenovo T450 Optiplex 745	5	Dukane I-PRO		Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 760	2	Dukane I-PRO				
Classroom	Lenovo M900 Optiplex 760	6	Epson Powerlite 585W	ActivBoard 500	Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo T450		Dukane I-PRO		Dell Color C2665dn	Avervision CP 135	
Classroom	Lenovo M900 Optiplex 745	5	Epson Powerlite 585W	ActivBoard 500	HP Laserjet 2420	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 745	3	Boxlight 3100	ActivBoard 387	Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 745 Optiplex 760	4	Epson Brightlink 595Wi		Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 760	2					
Classroom	Lenovo T450		Epson Powerlite 585W	ActivBoard 387	Dell Color Laser 2130	Avervision CP 135	HP Laserjet 2420
Classroom	Lenovo T450		Boxlight 3100	ActivBoard 387	Dell Laserjet 2330	Avervision CP 135	Brother DCP8080DN
Classroom	Lenovo M900		Boxlight 3100	ActivBoard 387	Xerox Phaser 3260	Avervision CP 135	HP Color Laserjet 2600n

Room Name	Computer	Quantity	Projector Model	Smartboard Model	Printer Model	Document Reader	Other
Classroom	OptiPlex 980	40			Xerox Phaser 3260		Dell Color C2665dn
	Chromebooks	36					
	ipads	30					
Classroom	Lenovo T450 Optiplex 745	5	Boxlight 3100	ActivBoard 387	Dell Color Laser 2150	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 745	3	Dukane I-PRO		Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo M900 Optiplex 760	4	Boxlight 3100	ActivBoard 387	Xerox Phaser 3260	Avervision CP 135	
Classroom	Lenovo T450 Optiplex 745	4	Boxlight 3100	ActivBoard 387	Xerox Phaser 3260	Avervision CP 135	Apple TV
Classroom	Lenovo T450 Optiplex 760	4	Boxlight 3100	ActivBoard 387	Xerox Phaser 3260	Avervision CP 135	HP Color Laserjet 2600n
Classroom	OptiPlex 780	40	Epson Powerlite S1		Xerox Phaser 3260		Dell Color Laser 2150
Classroom							
Classroom							
Classroom							
Classroom	OptiPlex 390						Dell Laserjet 2330
Classroom							
Library	Lenovo M900 Optiplex 760	5	Dukane I-PRO		Dell Color Laser 2130		Xerox Phaser 3260
Classroom	OptiPlex 780				Xerox Phaser 3260		
Classroom	Lenovo T450 Optiplex 760	3	Epson Powerlite 585W		Dell Color C2665dn		
Classroom	Lenovo T450 Optiplex 745		Epson Brightlink 595Wi		Dell Color C2665dn		
Office	Optiplex 780						
Office	Optiplex 780						
Administration	Optiplex 780						
Nurses	Optiplex 780						
Kindergarten	Lenovo M900 Optiplex 760	3	Epson brightlink 595w				
Office	Lenovo M900						Brother MFP 8080DN



Observations Summary:

Madrona Elementary School is a very well maintained and mostly well designed school, which utilizes durable building materials and provides adequate learning environment complemented by the beautiful site. However, the strength in the building design was overshadowed by the sub-optimized site planning scheme, which creates frequent vehicular congestion and unsafe pedestrian crossing situation at the entrance of the school. Fortunately, a comprehensive site reconfiguration project targeted at the drop-off and parking area may finally align the site planning with the timeless building design. To complement the drop-off area improvement, the school will further improve visitors' experience and convenience by re-configuring a portion of the administration building to create a dedicated visitor's circulation path and door to the campus.

A constant challenge presented on the site is the steep slope. The slopes create difficult situation for emergency evacuation as well as accessibility compliance. As a part of the campus wide modernization effort, creative measures should be taken to minimize the cost associated with extensive re-work of ramps and walkways. On the other hand, the steep slope also presents opportunity for an outdoor amphitheater that may be built into the topography already surrounding the existing outdoor platform north of the multi-purpose building. Along with other miscellaneous upgrades addressing maintenance and ADA issues, a site oriented modernization project will bring Madrona Elementary School to the next level of greatness and serve as a model to other elementary schools facing similar site constraints.

